

REQUEST FOR COMPETITIVE ESTIMATES
DOG CREEK PARK – SOUTH CAMPGROUND RENOVATIONS
PROJECT ADDRESS: 4901 WARBLER AVE. SUTHERLAND, IA 51058

ESTIMATES DUE

September 9, 2026 @ 8:00 AM

Return to: O'Brien County Conservation Board - 4931 Yellow Avenue; Peterson, IA 51047

Contact: Mark Wilson – OCCB Director; mwilson@obriencounty.iowa.gov; 712-334-0672

Contractors are strongly encouraged to carefully examine the project site and become familiar with existing conditions affecting the work. Failure to inspect the site shall not constitute grounds for additional compensation due to conditions that could reasonably have been discovered through site investigation.

PROJECT DESCRIPTION

Includes furnishing all labor, materials, equipment, supervision, coordination, permitting, inspections, and testing necessary to complete the electrical, sewer and water supply upgrades for 11 campsites at Dog Creek Park – South Campground.

- Materials exception: Owner provides electrical RV pedestals and yard hydrants.
- Campsites and requisite electrical pedestals, sewer connections and water hydrants to be staked by Owner.

Includes construction of six (6) new concrete RV pads, each approximately 16 feet wide by 50 feet long, with approximately 20 linear feet of compacted aggregate access from the existing park road to each RV pad.

- Two separate estimates will be required; concrete pads and compacted aggregate pads.

Further includes all labor, materials, equipment, supervision, coordination, permitting, inspections, and testing necessary for construction of a brand-new turn-key bathroom and shower house at Dog Creek Park – South Campground.

- General layout, footprint, and design of bathroom and shower house to be provided by Owner.
- Three separate shower house construction estimates will be required; wood framed, split-face CMU, and cast-in-place concrete.

O'Brien County is a designated exempt entity as authorized by Iowa Code 422.42(15)(16) and 422.47(5). The Contractor is eligible to receive an exemption from the State of Iowa Sales Tax and Local Option Tax. O'Brien County expects the Contractor to obtain the sales tax exemption. State of Iowa Sales Tax shall not be included in the estimate. The Contractor will be provided with a Certificate and "authorized letter" which may be used to purchase materials used on the specific contract without paying sales tax. Project estimates must be typed or shown in ink.

PURPOSE OF REQUEST FOR COMPETITIVE ESTIMATES

The purpose of this Request for Competitive Estimates is to obtain comparable pricing from qualified contractors for the proposed improvements at Dog Creek Park – South Campground.

This request is intended to provide the O'Brien County Conservation Board with preliminary construction costs for budgeting, project planning, and selection of a contractor. The information provided herein is intended to establish the general scope and desired outcome of the project and is not intended to constitute professionally engineered plans and specifications.

Contractors shall use their professional judgment and construction experience to develop a complete estimate based upon the information provided, existing site conditions, applicable codes, manufacturer requirements, and customary construction practices.

This Request for Competitive Estimates is intended to obtain informal, competitive pricing for a proposed County project. It is not intended to constitute a formal sealed-bid solicitation unless otherwise required by applicable law.

O'Brien County Conservation Board reserves the right to request clarification, negotiate scope and pricing, modify the proposed scope, reject any or all estimates, waive informalities or minor irregularities, select a contractor, or elect not to proceed with the project, subject to applicable Iowa law.

CONTRACTOR MEANS AND METHODS

Contractors shall be responsible for determining the appropriate means, methods, sequencing, equipment, installation procedures, and construction techniques necessary to complete the work in accordance with applicable codes, manufacturer requirements, and generally accepted construction practices.

Quantities, dimensions, routing, and material lengths shown in this document are preliminary estimates for pricing purposes. Contractor shall field verify existing conditions and determine final quantities and installation requirements necessary to complete the proposed work.

Drawings provided by the Owner are conceptual in nature and are intended to communicate the general layout, dimensions, appearance, and intended use of the facility. Contractor shall verify dimensions and develop final construction details necessary to complete the work.

The Owner is not requesting stamped engineering plans or professionally engineered construction documents as part of this competitive-estimate process. Contractors shall, however, comply with all applicable codes, permitting requirements, manufacturer requirements, and Authority Having Jurisdiction requirements applicable to the work.

ASSUMPTIONS AND EXCLUSIONS

Contractor shall identify any assumptions, exclusions, allowances, contingencies, or items not included in the estimate that could materially affect the final project cost.

ANTICIPATED SCHEDULE

The following schedule is preliminary and is provided to allow contractors to identify scheduling concerns. Final dates will be established in the agreement with the selected contractor.

Contractor selection: September 9, 2026

Contract execution: September 14, 2026

Construction start: October 15, 2026

Substantial completion: May 1, 2027

Final completion: May 24, 2027



CAMPGROUND – ELECTRICAL

Work includes, but is not limited to:

- New 400A, 120/240V single-phase electrical service (contractor to verify)
- RV pedestal power distribution and installation – 11 sites
- Power distribution to new bath & shower house
- Underground conduit and feeder systems
- Directional boring and/or trenching
- Locating and confirming location of existing underground utilities
- Grounding and bonding systems
- Coordination with Owner, utility company, and other Contractors
- Contractor shall coordinate final locations with owner prior to installation.
- All work must comply with the following codes and standards:
 - NEC 2023
 - Northwest REC standards
 - Manufacturer installation instructions

Service Equipment

- Main Service Panel
 - Mounted near existing power pole and transformer
 - Provide 2-inch conduit stubs for each circuit
 - Provide spare 2 - inch conduit into Main Service Panel
 - Provide 2 5/8" x 8' ground rods at Main Service Panel
 - Suggested Panel Schedule:
 - Circuit 1: Sites 19-21
 - Circuit 2: Sites 22-24
 - Circuit 3: Sites 25-27
 - Circuit 4: Sites 28-29
 - Circuit 5: Bath & Shower House
 - Pedestals
 - Quantity:
 - 11 - Midwest U075CP6010 (owner provided)
 - Install 2-inch conduit stubs into each RV pedestal
 - Installation at back left corner of campsite, staked by Owner
 - Conduit and Conductors (contractor to verify)
 - PVC Schedule 80 stubbed into Main Service Panel, Shower House, and each RV pedestal
 - RV and shower house feeders - 1,400 linear feet (contractor to verify)
 - Green equipment grounding conductor -1,400 linear feet (contractor to verify)
 - taps or pigtails into pedestal breakers and shower house sub panel - 400 linear feet (contractor to verify)
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CAMPGROUND – WATER SUPPLY

Work includes, but is not limited to:

- New potable water supply to 11 RV camp sites
- New potable water supply to new bath and shower house
- Direct bury, lead free, yard hydrant installation – 11 sites
 - 11 – 6' bury yard hydrants: Woodford IOWA Y34-6 (owner provided)
 - 11 – 4" x 6" x 10' pressure treated wood post, buried 5 feet
- Directional boring and/or trenching
- Locating and confirming location of existing underground utilities
- Coordination with Owner, utility company, and other Contractors
- Contractor shall coordinate final locations with owner prior to installation.
- All work must comply with the following codes and standards:

- Manufacturer installation instructions
 - Osceola Rural Water System standards
 - Ten States Standards (Recommended Standards for Water Works)
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CAMPGROUND – WASTEWATER SYSTEM

Work includes, but is not limited to:

- Extension of the existing campground sanitary sewer collection system to serve a total of 11 RV campsites.
- Connection of six (6) new RV campsites to the existing septic tank system.
- Connection of the new bathroom and shower house to the existing septic tank system.
- Furnishing and installation of all sanitary sewer piping, fittings, cleanouts, manholes (if required), connections, bedding, backfill, and appurtenances required for a complete and operational wastewater collection system.
- Directional boring and/or trenching as required.
- Excavation, dewatering (if necessary), bedding, backfill, compaction, grading, and site restoration.
- Locating and confirming the location of all existing underground utilities prior to excavation.
- Protection of existing utilities, campground facilities, roadways, sidewalks, landscaping, and improvements during construction.
- Coordination with the Owner and other Contractors to ensure proper installation and sequencing of work.
- All permitting, inspections, testing, and documentation required by applicable regulatory authorities.

Existing Septic System

- An existing septic tank system is currently installed and operational.
- Five (5) existing RV campsites are already connected to the existing septic tank system.
- Contractor shall connect six (6) additional RV campsites to the existing septic tank system.
- Contractor shall connect the new bathroom and shower house to the existing septic tank system.
- Contractor shall verify existing septic tank inlet elevations, available connection points, and pipe invert elevations prior to construction.
- Contractor shall notify the Owner immediately if deficiencies are discovered that could impact the proposed installation.

Sanitary Sewer Piping

- Contractor shall furnish and install all sanitary sewer piping required to provide complete service to:
 - Six (6) new RV campsite sewer connections.
 - One (1) bathroom and shower house.
- Pipe sizes shall be as required by applicable permits, applicable plumbing code, and customary construction practices.
- Gravity sewer piping shall be installed with uniform slope to provide positive drainage throughout the system.
- Install cleanouts at the ends of runs, changes in direction, and intervals required by applicable code.

RV Campsite Sewer Connections

- Provide one sanitary sewer connection at each of the six (6) new campsites.
- Sewer risers shall terminate at locations designated by the Owner.
 - Risers shall be capped with Enviro Design Products FootLoose RV Site Sewer Caps (SKU: FF1040)
- Contractor shall coordinate final locations with owner prior to installation.

Bathroom and Shower House Connection

- Furnish and install the complete sanitary sewer service from the new bathroom and shower house to the existing septic tank system.
- Coordinate plumbing rough-in elevations with the building contractor.
- Install all exterior building sewer piping, fittings, cleanouts, and required connections.

Restoration

- Restore all disturbed areas to original condition or better.
- Replace damaged gravel, turf, topsoil, and other site improvements.
- Remove excess excavated material and construction debris from the project site.

All work shall comply with the latest adopted editions of:

- Iowa Plumbing Code.
 - Iowa Department of Natural Resources (DNR) regulations applicable to private wastewater systems.
 - O'Brien County and local jurisdiction requirements, where applicable.
 - Manufacturer installation instructions.
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CAMPGROUND – RV PAD CONSTRUCTION

OCCB is requesting separate competitive estimates for two alternative methods of constructing six (6) new RV campsites at Dog Creek Park – South Campground. OCCB intends to select one (1) of the two alternatives, subject to available project funding and final approval by OCCB.

Both alternatives shall be based upon the same general campsite layout and site locations. The Owner will stake the footprint and location of each campsite prior to construction.

Option 1 – Concrete RV Pads

Provide six (6) new concrete RV pads, each approximately 16 feet wide by 50 feet long, with approximately 20 linear feet of compacted aggregate access from the existing park road to each RV pad.

Work shall include, but is not limited to:

- Site preparation and layout based upon locations staked by the Owner.
- Excavation and grading necessary to establish the proposed pad elevations.
- Preparation and compaction of the subgrade.
- Furnishing and placement of suitable aggregate base material as required.
- Furnishing and placement of concrete suitable for recreational vehicle and campground use.
- Reinforcement, forming, finishing, curing, jointing, and other concrete work as appropriate for the proposed use.
- Grading and drainage necessary to provide positive drainage and minimize standing water.
- Coordination with existing and proposed electrical, water, wastewater, and other campground utilities.

The Contractor shall determine appropriate concrete thickness, reinforcement, aggregate base, jointing, concrete mix, and other construction details based upon applicable codes, customary construction practices, anticipated campground/RV loading, and existing site conditions.

Option 2 – Compacted Aggregate RV Pads

Provide six (6) new compacted aggregate RV pads, each approximately 16 feet wide by 50 feet long, with approximately 20 linear feet of compacted aggregate access from the existing park road to each RV pad.

Work shall include, but is not limited to:

- Site preparation and layout based upon locations staked by the Owner.
- Excavation and grading necessary to establish the proposed pad elevations.
- Preparation and compaction of the existing subgrade.
- Furnishing and placement of suitable aggregate base and surface material appropriate for RV campground use.
- Placement of aggregate in appropriate lifts and mechanical compaction to provide a firm, stable, and reasonably uniform surface suitable for recreational vehicles and campground use.
- Grading and drainage necessary to provide positive drainage and minimize standing water.
- Coordination with existing and proposed electrical, water, wastewater, and other campground utilities.

The Contractor shall determine the appropriate aggregate type, aggregate depth, base preparation, compaction requirements, and other construction details based upon applicable codes, customary construction practices, anticipated campground/RV loading, and existing site conditions.

BATHROOM & SHOWER HOUSE

General

The Contractor shall furnish all labor, materials, equipment, supervision, permits, inspections, testing, and incidentals required to construct a complete and fully operational restroom and shower facility in accordance with the contract documents.

The building shall be fully operational upon completion and include all structural, architectural, plumbing, mechanical, electrical, ventilation, insulation, roofing, concrete, and finish work required for a complete installation. The building layout shall conform to the Owner's drawings. Minor modifications required to meet applicable building codes or manufacturer requirements shall be coordinated with the Owner prior to construction.

Bathroom & Shower House – Building Construction Alternatives

To facilitate evaluation of construction methods and life-cycle costs, each Contractor shall provide three (3) separate lump-sum price estimates for construction of the Bathroom & Shower House.

Each shower house option shall include all plumbing, electrical, mechanical, foundation, building, interior finishes, fixtures, exterior finishes, utility connections, and other work necessary to provide a complete and operational facility

The required building construction alternatives are:

Option No. 1 – Wood Framed Construction

- 2x6 wood stud exterior wall framing constructed on 1' foot high concrete/CMU stem walls.
- Exterior finished with prefinished steel roofing, siding and trim.
- Construction shall include all required insulation, vapor barriers, weather-resistant barriers, and structural components necessary to meet applicable building codes.

Option No. 2 – Split-Faced CMU Construction

- Exterior walls constructed of split-faced concrete masonry units (CMU).
- Reinforcement, grouting, insulation, and structural components shall be provided as required by applicable building codes and engineering requirements.
- Building shall be designed to provide a durable, low-maintenance structure suitable for long-term park use.

Option No. 3 – Cast-in-Place Concrete Construction

- Exterior walls constructed of cast-in-place reinforced concrete.
- Exterior wall surfaces shall utilize architectural form liners or textured concrete forming systems to produce a brick or masonry appearance acceptable to the Owner.
- Concrete finish shall provide an attractive, durable, low-maintenance exterior without the application of adhered masonry veneer.

Bathroom and Shower House – Comparable Estimates

Contractors shall base all three shower house options on the same building footprint, floor plan, fixtures, utility connections, mechanical systems, electrical requirements, interior finishes, and general scope. Differences in pricing should be attributable primarily to the exterior building construction method identified for each option.

The Owner intends to evaluate each construction alternative based on initial construction cost, long-term durability, maintenance requirements, and overall value. Pricing for all three shower house options is required for the estimate to be considered complete. The Owner intends to construct only one of the three shower house options. Contractors shall not assume that more than one option will be constructed.

Building Requirements

The completed building shall include:

- 2 (two) - restroom/shower rooms
- Mechanical/utility room
- Accessible entrances in accordance with applicable ADA requirements
- Complete electrical, plumbing, lighting, heating, ventilation, and water service
- Complete sanitary sewer connection
- Finished concrete floor
- Floor drains throughout wet areas
- Exhaust ventilation in each restroom
- 8' porch over poured concrete approach

Interior Finishes**Floors**

- Sealed concrete floor with non-slip finish.
- Floors shall slope to floor drains.
- Floor finish shall be suitable for commercial restroom facilities.

Walls

- Moisture-resistant finished walls (if wood framed construction)
- Walls shall be washable, mildew resistant, and suitable for high-moisture environments.

Ceilings

- Moisture-resistant finished ceiling.
- Ceiling material shall resist mold and humidity.
- Access panels shall be provided where required.

Doors and Hardware

Provide commercial-grade aluminum or insulated steel doors with:

- Commercial locksets
 - Occupancy/privacy locks at restroom entrances
 - Keypad deadbolt on mechanical room door
- Door closers

Plumbing

Contractor shall furnish and install all plumbing fixtures, valves, piping, insulation, supports, cleanouts, traps, vents, and accessories required for a complete operating system.

Water Heater

Provide:

- One (1) 100-gallon electric commercial water heater
- 240V electric operation
- Factory insulated
- Complete temperature and pressure relief valve
- Expansion tank where required
- Mixing valve/tempering valve to prevent scalding
- Drain pan if required by code

Plumbing Fixtures

Provide the following:

Toilets

- Two (2) commercial floor-mounted elongated toilets
- Flush valve type

- Open front commercial seats

Lavatories

- Two (2) wall-mounted solid surface sinks
- Commercial metering faucets
- ADA compliant where required

Showers

Provide:

- Two (2) Bradley Shower Systems
- Model: **WS-1X-HN**
- Air-metered operation
- Complete with valves, controls, shower heads, and mounting hardware
- Install in accordance with manufacturer's recommendations

Hose Bibs

Provide:

- One (1) hose bib in each restroom and mechanical room
- One (1) exterior frost-free hose bib
- Vacuum breakers on all hose connections

Floor Drains

Provide floor drains in:

- Each shower
- Toilet areas
- Mechanical room

Floor drains shall include trap primers where required.

Accessories

Each restroom shall include:

- Mirror above lavatory
- Toilet paper dispenser
- Soap dispenser
- Waste receptacle
- Robe hook near shower
- Bench or changing seat
- Grab bars meeting ADA requirements

Hand Dryers

Provide:

- Two (2) commercial automatic hand dryers
- Surface-mounted
- 120-volt
- ADA compliant
- High-efficiency, vandal-resistant construction

Mechanical

Provide a complete mechanical ventilation system including:

- Exhaust fan for each restroom
- Ventilation meeting current International Mechanical Code requirements
- Backdraft dampers
- Intake air as required

Electrical

Provide complete electrical installation including:

- LED interior lighting – wet rated as necessary
- LED exterior entrance lighting
- GFCI receptacles in each bathroom
- GFCI receptacles in mechanical room
- Dedicated circuits for:
 - Water heater
 - Hand dryers
 - Mechanical equipment
- Disconnects where required
- Occupancy sensor lighting

Insulation

Provide insulation to meet current Iowa Energy Code requirements for:

- Exterior walls
- Ceiling
- Mechanical penetrations

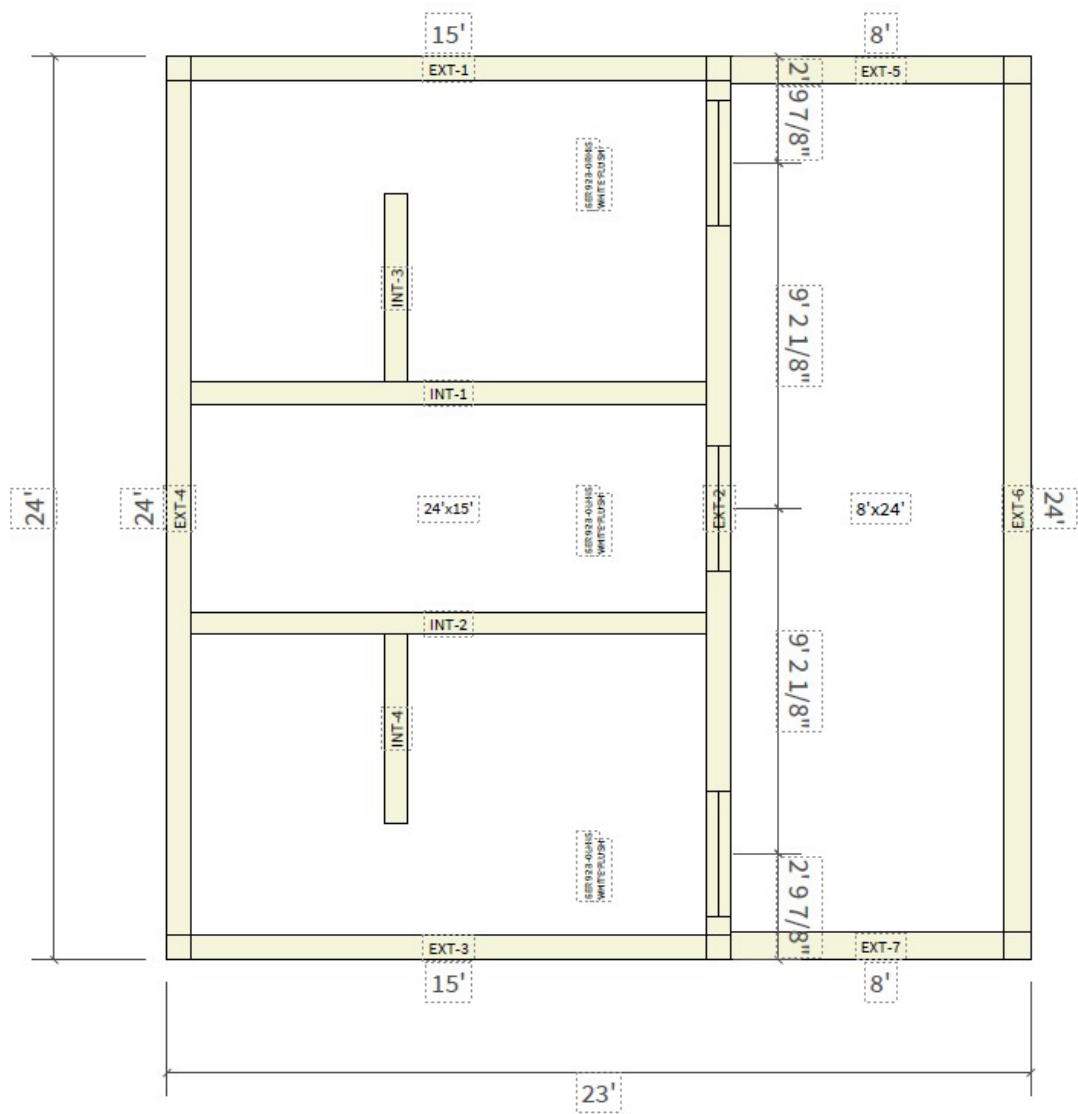
Roof

Provide complete roofing system including:

- Ice and water shield
- Underlayment
- Prefinished steel roofing and trim
- Ventilation

Warranty

Provide a minimum one (1) year warranty on workmanship and materials beginning on the date of Substantial Completion. Manufacturer warranties for equipment and fixtures shall be transferred to the Owner upon project completion.



CONTRACTOR COMPETITIVE ESTIMATE

Contractor: _____

Contact: _____

Phone: _____

Email: _____

Base Scope	Estimated Cost
Electrical Improvements	\$_____
Water Supply Improvements	\$_____
Wastewater Improvements	\$_____
Base Scope Total	\$_____

Project Options	
Concrete Pads – 6 Sites	\$_____
Aggregate Pads – 6 sites	\$_____
Shower House – Wood Frame/Steel	\$_____
Shower House – Split-Face CMU	\$_____
Shower House – Cast-in-Place Concrete	\$_____

Assumptions/Exclusions
Allowances

Estimate valid for 30 days.

FINAL CONTRACT PRICE

The competitive estimate is intended to establish preliminary project cost. Prior to construction, the selected contractor and Owner will finalize the project scope, construction details, schedule, and final contract price in a written agreement.